



Welcome to Better.

Born out of a belief that the built environment should do much more than fulfill the basic human need for shelter, where we choose to live should comfort, nurture and even inspire. Built on the belief that natural light, healthy environments, luxurious amenities, and the latest building science can live together in harmony.

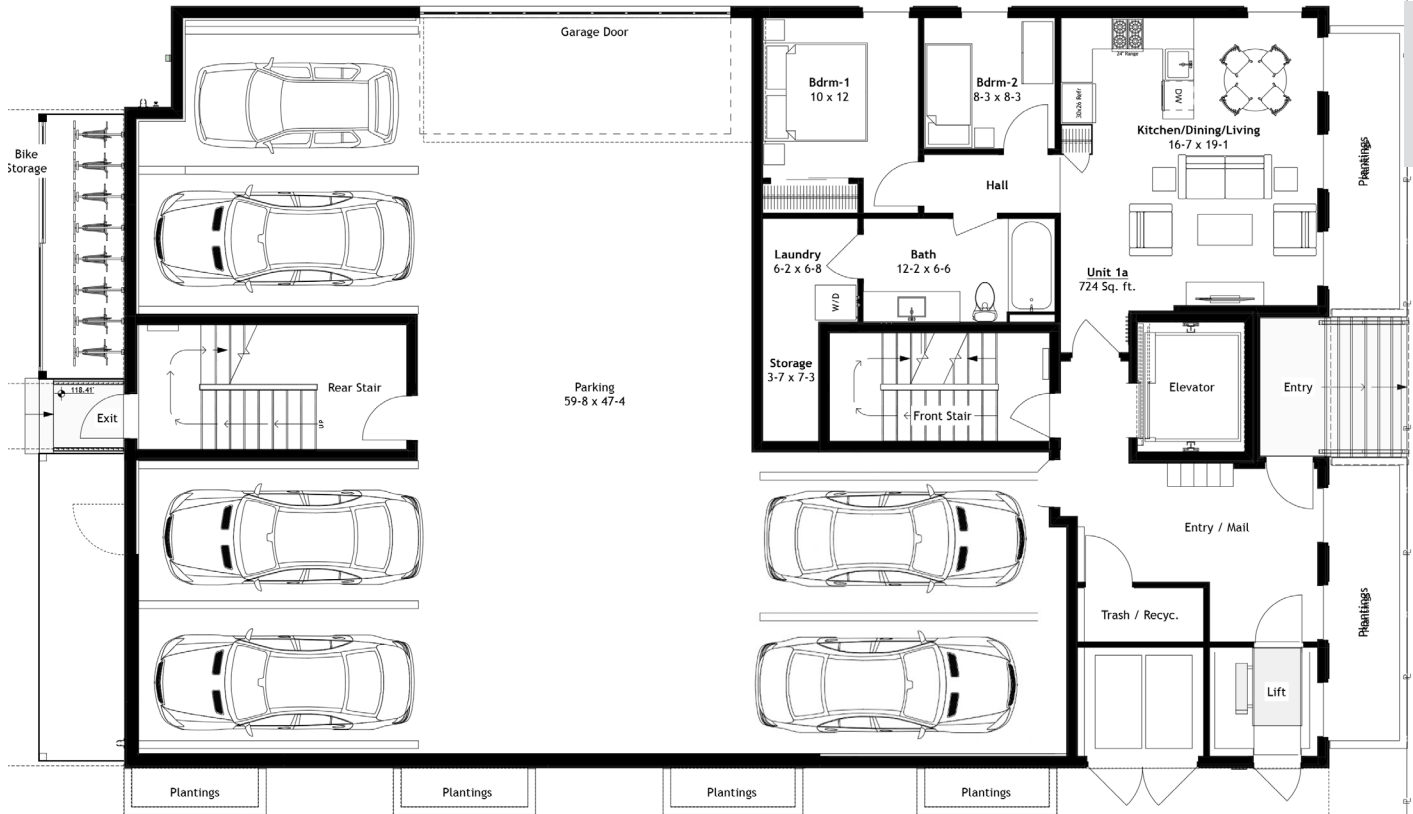


Eco-Lux Condos
on Portland's
Eastern Promenade

SOLARISPORTLAND.COM

130 Morning Street | Portland, Maine

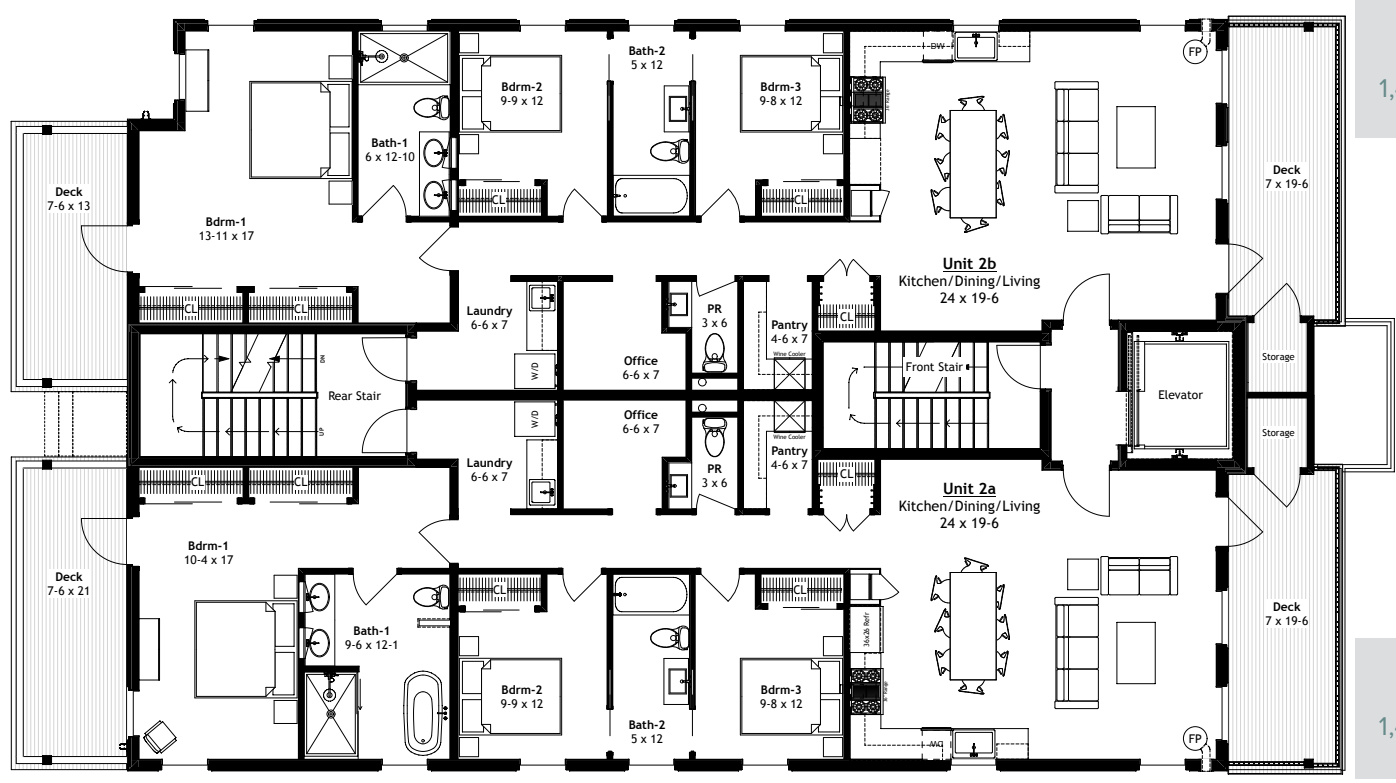
FIRST FLOOR



Unit 1A
724 Sq. Ft.

Morning Street
Morning Street

SECOND FLOOR



Unit 2B
1,437 Sq. Ft.

Unit 2A
1,457 Sq. Ft.

ILLUMINATED

Spaces are bathed in natural light with direct access to the outdoors and the sun's rays are harnessed to offset your carbon footprint.

SUSTAINABLE

Healthier living starts with conscientious choices. From how we build to what we build, the ability to create a better living environment has never been more

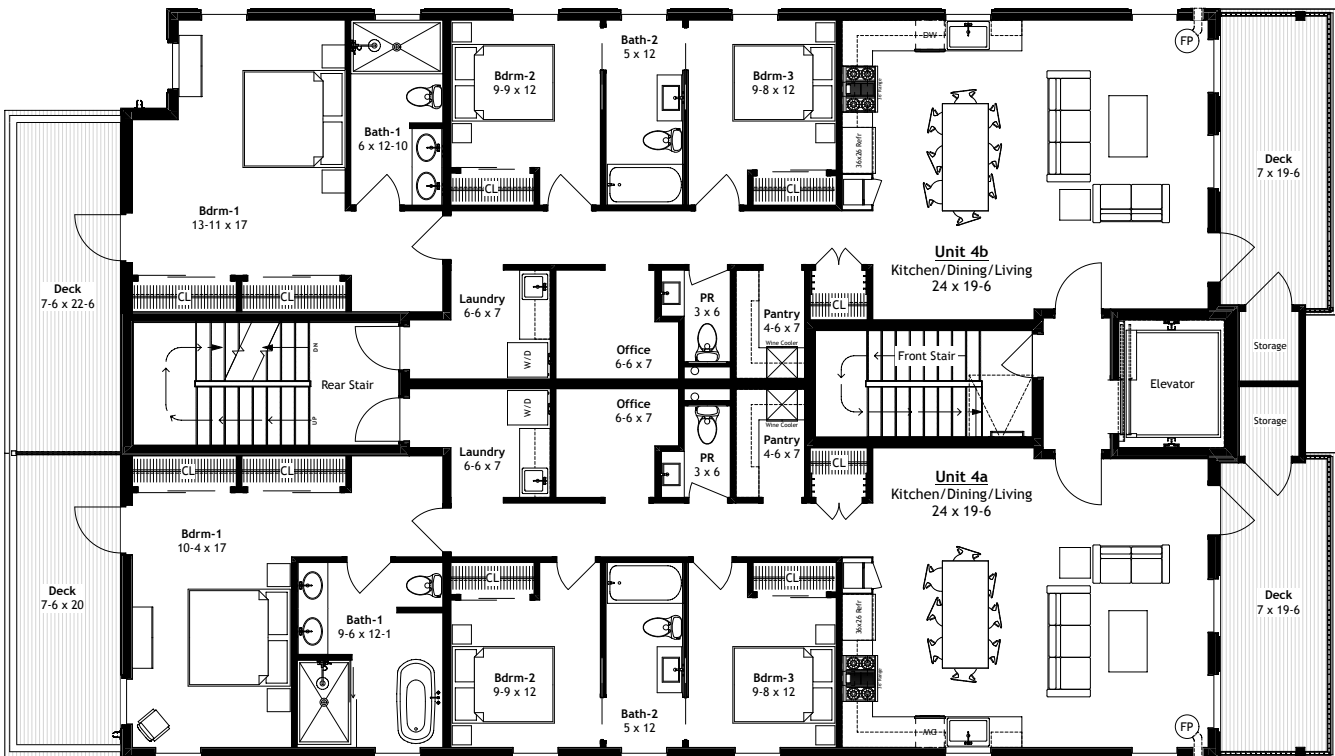
THIRD FLOOR



Unit 3B
1,437 Sq. Ft.

Unit 3A
1,457 Sq. Ft.

FOURTH FLOOR



Unit 4B
1,437 Sq. Ft.

Unit 4A
1,457 Sq. Ft.

INNOVATIVE

The latest in building science provides materials and technologies that redefine efficiency and require little to zero maintenance.

LUXURIOUS

Going green doesn't mean you have to compromise on the fit, finish, and amenities you deserve.

FREQUENTLY ASKED QUESTIONS

Garage Parking

- Dedicated garage parking space for all units (except unit 1A)
- Parking spaces will be wired for each owner to install their own EV charger
- There is no guest parking or parking outside garage
- Garage is heated with direct access to both stairwells and lobby

Storage

- Individual storage areas located in the basement with elevator and stair access
- All units have decks (except 1A)

Bike Shed

- Bike storage available inside shed in the rear yard

Pets

- Well-behaved pets are welcome!
- Owners and their pets are subject to reasonable rules to encourage a pet-friendly, clean, and safe environment for people and pets (see condo docs)

Garden Plots

- Each unit comes with a raised garden bed with fresh organic soils
- Unit owners can use their garden beds for vegetables, flowers, etc.

Noise Attenuation

- Designed and built to limit noise transfer from unit to unit and unit to common areas
- Sound dampening sub-floor and flooring
- Sound attenuating insulation installed in floor and wall cavity

NOTE

- Information, details, plans on this site and in any attachments are subject to change as the project moves from concept to finish.
- Images shown are conceptual in nature and should not be taken as actual or accurate. This is the case for what fit, finish, interiors, exteriors, material selections, look, feel, light views and related.
- See condo documents for details on approved uses, limitations, rules, restrictions and related.

Lobby

- Front of building, first floor with ADA compliant chair lift
- Mail and package area, dedicated dry cleaning pick-up and drop-off area
- Access to recycling, front stairwell, and garage

Recycling / Trash / Garbage

- Off the lobby there will be a dedicated space for all waste, recycling, and garbage
- Continuous air-exchange and door-activated exhaust fan
- Included in condo fee

Elevator

- Services all levels including basement

Bathrooms

- Tile floors in bathrooms will come with radiant electric heat

Ceiling Heights

- Between 8'6" and 10 ft.

Rental

- Units can be rented for a minimum term of 90 days and only four parties per calendar year

Smoking

- The units, common areas and grounds are non-smoking.

Solar Farm & Credit

- Solar farm on roof belongs to the unit owners and will be managed by the association
- Production credit is automatically applied by CMP to offset each owner's electric usage (not applied to the house meter)
- The amount of the credit is based on each unit's square footage

INCLUDED IN CONDO DUES: YES/NO

Yes – Municipal water, sewer, and storm water expenses

Yes - Recycling and garbage removal

Yes - Snow removal on walkways and driveway

Yes - Lawn care, landscaping, yard clean-up

Yes - Common area maintenance, cleaning, lighting, heat, A/C, and related

Yes - Reserves for maintenance, repairs, and replacements

No - High speed cable and internet

No - Your unit's electric

No - Your unit's natural gas